



Part 3

Masterplanning & Placemaking

The illustrative masterplan sets out an indicative representation of the development framework plan at a detailed level. It demonstrates the vision and design principles in a detailed design, exploring aspects of the green spaces, street design, and plot arrangements, for example. This gives a clearer picture of how the proposal is envisaged and will be used by East Herts District Council to guide the detailed design, which comes at a later planning stage.

Placemaking

Creating a place that adopts best practices for urban design and placemaking has driven the masterplanning process. The following are key placemaking principles that have informed the design of the Development Framework Plan and Illustrative Masterplan, and will be adopted at later planning stages –

- Create a highly accessible place, that makes sustainable travel the desirable option for all prospective users.
- Accommodate and support a rich mix of uses that are flexible to business needs and change over time.
- Deliver a variety of public spaces that create opportunities for activity, socialising, and rest, that are enjoyable and attractive places to be that foster health and well-being.
- Achieve a legible layout, supported by a mix of street and building types that create distinctive identities.
- Create a place that offers richness and variety in daily experiences. This can be through the townscape and skyline, views and vistas, and architectural detail, as well as sensory and acoustic experiences.

Green Spaces

Illustrative Landscape



Illustrative Landscape Plan

Key Landscape Areas

Buntingford Park

North Zone

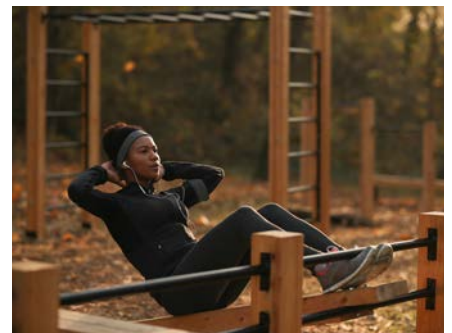
The north zone of Buntingford Park provides close interaction with nature, with a variety of amenities and recreational elements characterising this area of Buntingford Park. The north zone will have a focus on amenity, ecology and sustainable water management, and could include wetlands with grasses

and naturalistic SuDS, set in ecological grasslands. The north zone could offer a community growing hub/area, playing fields, an outdoor play climbing wall, and a NEAP play area with timber play equipment.



South Zone

The character of the south zone transitions to an open character, reflective of the site's rural context. This zone of Buntingford Park will feature species-rich wildflower grasslands, with occasional tree planting and screening to enclose development and retain the landscape character. Mown paths, a trim trail and a natural play trail will offer a mix of outdoor recreation space in this natural setting, as well as provide space for well-being activities such as yoga.



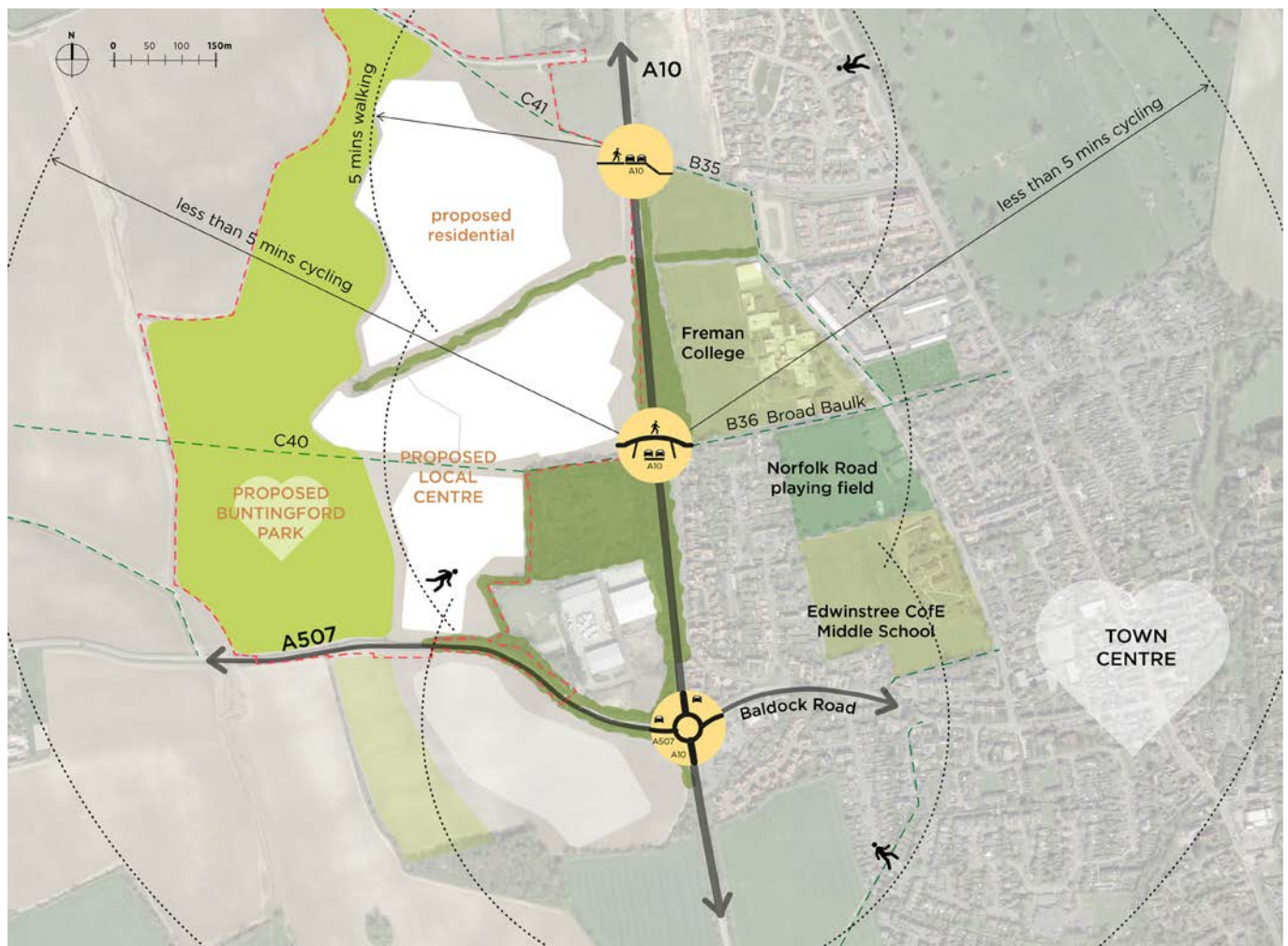
Walking, cycling and public transport

Buntingford, Parkside is designed to prioritise sustainable travel modes. Key to this inclusive approach is a variety of routes that look to encourage and enable walking, cycling, and bus travel, within the site, and into Buntingford.

The walking and cycling network is directed towards key nodes and landmarks and follows desire lines, considering existing and new access points, topography, and land uses within and outside the site. Safe, accessible, and enjoyable active travel links provide safe movement along the A507, and across the A10, linking new facilities and amenities to the existing communities in Buntingford.

Existing pedestrian links will be upgraded and integrated into the wider movement network.





Active Travel Crossing Plan

Seabrook Orchards, Exeter (© CoMoUK)

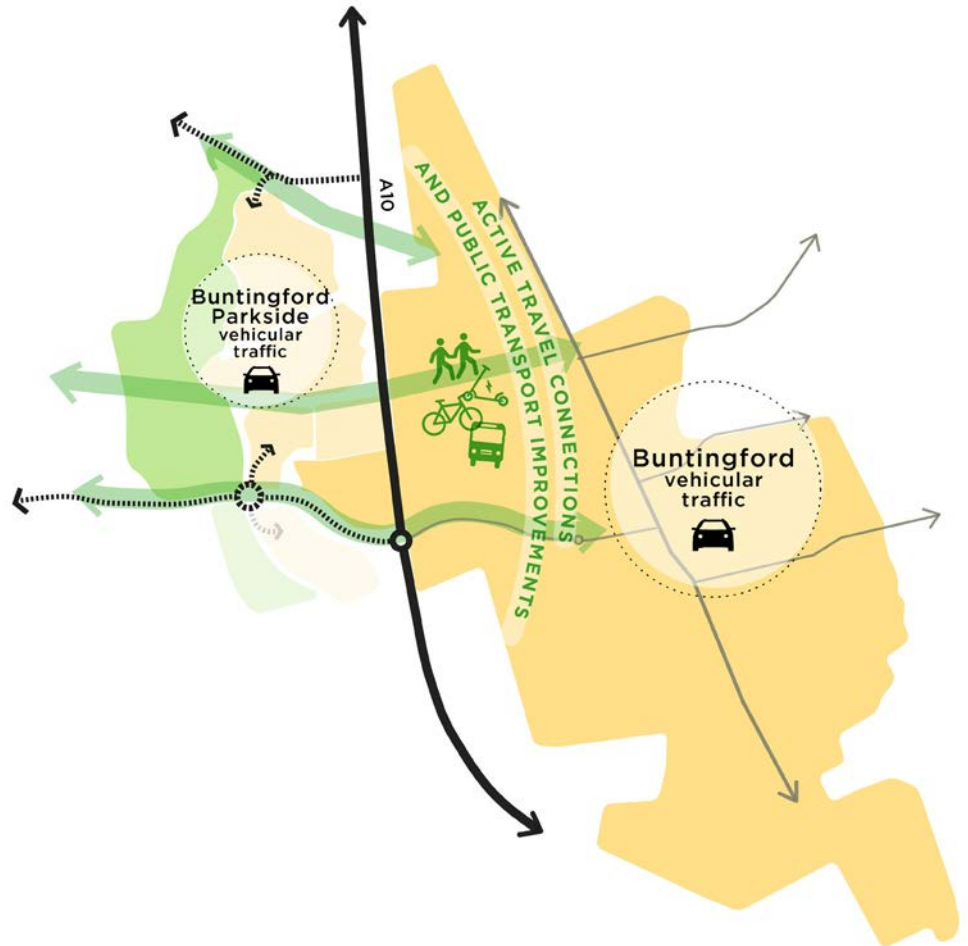


Traffic Calming

The design and layout of Buntingford, Parkside places a focus on sustainable travel modes. A key part of this is calming vehicular traffic through the site, to create a safer and attractive environment to support walking and cycling movements.

The detailed street design is to follow in the later planning stages, but the following design influences to calm traffic could be adopted:

- Narrowed streets and tight corner radii.
- Raised tables and incidental spaces at key nodes.
- Change in surface treatments.
- The placing of street trees, landscaping and furniture.
- Alignment of the street, chicanes and visibility splays.
- Shared streets.



Minimising impact on the local road network



Street Hierarchy

Buntingford, Parkside is well-connected to the town through an extensive network of walking and cycling links, and a bus route into the site. The site's two main connections are from Baldock Road and Throcking Lane, with a link street connecting these two points. The following principles will guide the design of the Link Street, and will inform the detailed design of streets in later planning stages.

- Well-connected to the surrounding context.
- Streets should support walkability and contribute towards legibility.
- Streets should balance their movement and place functions.
- Designed to facilitate and encourage travel by sustainable modes.
- Be of an appropriate width and scale to facilitate movement along the Link

Street, such as walking, cycling, buses and private cars, but also create a comfortable environment.

- Incorporate traffic calming measures, such as raised tables and changes in surface materials.
- Where on-street parking is incorporated it should be broken up by landscaping and street trees.



Parking

Cycle parking should be provided at key areas in the site, such as the First School, Doctor's Surgery and Local Centre, with the level and type of cycle parking determined by the land use and context. There should be a variety of long- and short-term cycle parking, that is well-overlooked and

sheltered. Additional cycle facilities will also be provided at the Mobility Hub.

A range of car parking solutions will be adopted to meet the parking standards set by the Local Planning Authority. Parking types can include but are not limited to, on-plot side parking, garages, front parking, and parking

courts. Vehicle parking should be well-designed to not dominate the street scene but integrated into the built form with landscaping to reduce its visual impact.

Detailed design of cycle and vehicle parking will be undertaken at the later planning stages.

Parking Typology



Front parking & front court



Side garage



Side parking



Integral



Rear parking courts

Key Spaces

The site layout is designed to create a series of public spaces, different in size, use and character. Many of these will be incidental spaces along the street, that create distinctive and memorable places within the site, both aiding wayfinding and creating visual interest.

The design of the public realm makes these spaces visually distinguishable, with distinctive street furniture, surface treatments and priority for pedestrians.



Newhall, Harlow



Plot Arrangements and Frontages

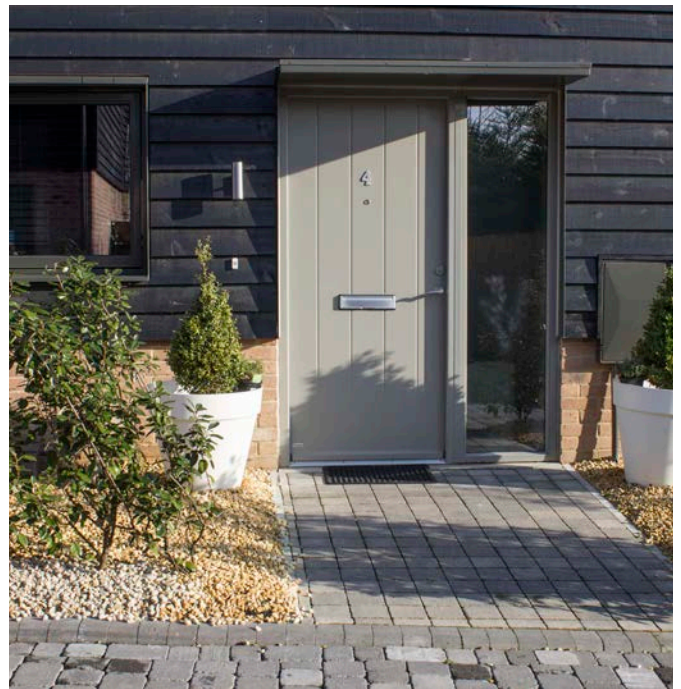
The layout of plots will be arranged in a sustainable and efficient arrangement, that contributes to the quality of the place.

Corner plots will play a key role in legibility and the enclosure of the street.

Corner buildings should be designed to create an active façade on both streets that they interact with, and could be designed as landmark buildings.

Frontages and setbacks also play a role in the enclosure and character of streets. Front gardens should be well defined to create a distinction

between public and private space. This could be through but is not limited to, the use of low railings, brick walls, and hedges. The setback will be determined by the property type and character, for example, streets more rural in character will have a larger building setback and a landscaped boundary.



Sustainability

Sustainability has been a key driver across all aspects of the vision. The masterplan incorporates numerous sustainability elements, such as renewable energy generation, community facilities, active travel and ecological enhancements.

Buntingford, Parkside is designed to encourage sustainable transport internally and to the town, through several active travel routes that make sustainable travel an attractive option. Electric vehicle charging points will be provided for all residential units, supporting the transition to electrified

transport and improving air quality. New community facilities, such as a new Doctor's Surgery, will give new and existing residents easy access to daily services and amenities.

Regarding green infrastructure and water, the inclusion of SuDS, designed to account for 1 in 100-year events plus an allowance for climate change, ensures water is sustainably managed in the scheme. Buntingford, Parkside will also protect and enhance biodiversity, with climate-tolerant species where possible, and introduce new greenspaces and habitats to contribute to improved biodiversity.

The Future Homes and Buildings Standard 2025 will be achieved through an All-Electric energy strategy with the use of renewable energy, such as Solar PV and Air Source Heat Pumps, supporting the UK's trajectory to a Net Zero future.

Should a planning application south of the site, by Hallam Land Management, be approved, the delivery of a Solar Farm has the potential to produce enough clean energy for the grid (c.4,930MWh), equivalent to the needs of the proposed development.





HOUSING

- Provide for high quality homes
- Cater for a wide diversity of needs
- Appropriate residential density that varies appropriate to the area
- Future-proof design that embeds adaptability and flexibility into society
- Provision of affordable housing, and elderly accommodation
- Self-build
- Relationship to landform
- Accessibility
- Social sustainability and sense of community
- Homes / buildings compliant with Future Homes Buildings Standards



ENERGY

- A resilient, adaptable, and highly sustainable energy and carbon strategy
- Smart-energy capable housing
- Highly efficient building fabric to reduce energy bills
- Extensive use of renewable energy generating technologies across the site such as in the form of Air Source Heat Pumps and/or Solar PV



EMPLOYMENT

- Supporting the local economy through the provision of flexible business spaces in the Local Centre, well connected to sustainable transport
- Employment opportunities for residents



ACTIVE & SUSTAINABLE TRAVEL

- Create strong, comprehensive, network of active travel routes to Buntingford
- Convenient access to public transport that integrates with existing routes
- Bridging the gap through potential new pedestrian/ cycling connections across the A10 and A507
- Access to the wider countryside
- Relationship to landform
- Access to local green infrastructure and wider countryside infrastructure



LOCAL CENTRE

- Provide facilities that complement (not compete) with the existing offer
- Provide key community uses
- Accessibility
- Create a legible new community with civic space at its heart
- Relationship with existing buildings
- Link to schools
- Sense of community
- Key uses: community/ retail/ education



GREEN INFRASTRUCTURE

- New "Buntingford Park" and potential accessible green loop
- Access to wider countryside
- Open space features/ Interconnected "Viewing Points"
- Outdoor leisure & sports provision
- Some areas to be "wildlife havens"
- Encourage active lifestyles
- Green infrastructure as a placemaking tool



PLACE-MAKING

- Create a distinct new place shaped by its context
- Adaptable/locally informed placemaking
- Safe, secure and inclusive design
- Spaces to adapt over time
- Design with emphasis on management not maintenance
- Design with landscape and micro-climate



COMMUNITY FACILITIES

- New Buntingford Park to serve the all Town
- Accessible, safe and convenient for all
- Prioritise sustainable travel
- Provision of flexible spaces
- Provide range of play, sport and recreation opportunities
- Create a variety of places and spaces usable throughout the year
- Provide opportunity for social interaction (communal gardens, allotments) and community facilities generating employment



EDUCATION

- Provision of a new school
- Link to and relationship with the existing school provision in the wider town
- Integration of sport facilities provision with school
- Building social sustainability and sense of community



Sustainability elements



BLUE INFRASTRUCTURE

- A network of sustainable drainage designed with the topography and landscape
- Integration of blue infrastructure in the habitat network
- Use of water in strategic habitats



BIODIVERSITY

- Working with site topography and natural features, including existing woodland, hedgerows and watercourses
- Early implementation of on-site initiatives to support Biodiversity Net Gain
- Create a network of varied and connected habitats
- Integration of nature with development
- Food growing opportunities supporting biodiversity net-gain



Illustrative Masterplan

Illustrative Masterplan and Vision

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street design, and plot arrangements, for example. This gives a clearer picture of how the proposal is envisaged and will be used by East Herts District Council to guide the detailed design, which comes at a later planning stage.

Key

-  Residential
-  Local Centre
-  First School
-  Play Areas
-  Greenspace
-  SuDS
-  Playing Fields
-  Structural Planting
-  Vegetation

